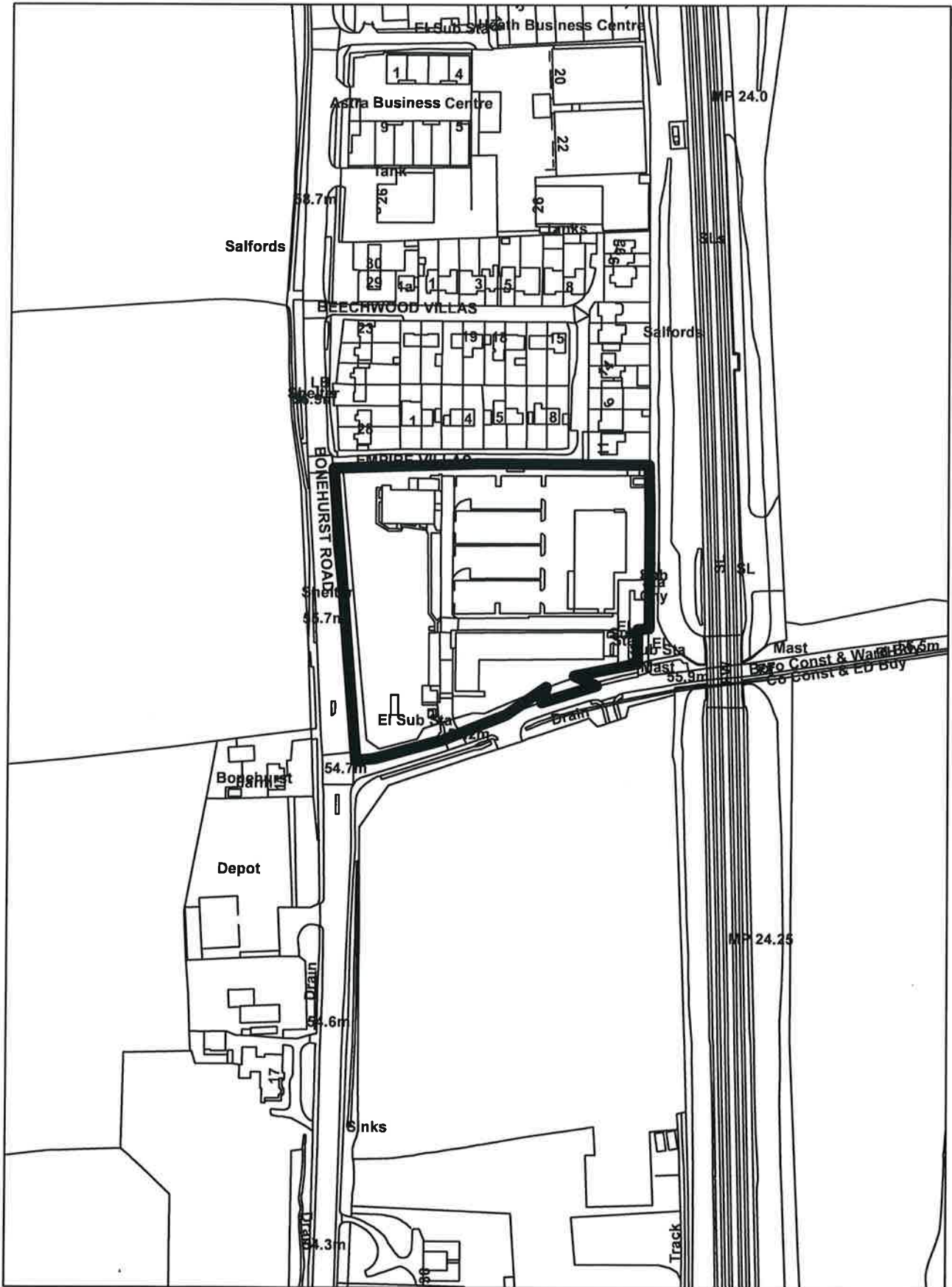


# 21/03303/F - Titan House, Crossoak Lane, Salfords



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Advertisement sign lying on the ground, partially obscured by shadows. The text is difficult to read but appears to contain contact information for a business or organization.



titan  
travel

titan



titan











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travel



- KEY:**
- Planning Application Boundary  
16,351 m<sup>2</sup> / 4.04 acres / 1.635 hectare
  - Proposed fence 2.4m high
  - ss Proposed substation location
  - ref Proposed refuse enclosure
  - EV 20% EV charging bays (18no.)
  - EV 20% potential future EV charging bays (18no.)

**GROSS INTERNAL AREAS:**

<b>Unit A -</b>	<b>5,091.5 sqm (54,800 sqft)</b>
Warehouse	4,515.5 sqm (48,600 sqft)
Incl office undercroft	
Offices on 1st floor	288 sqm (3,100 sqft)
Offices on 2nd floor	288 sqm (3,100 sqft)
Parking incl disabled	65 spaces
Cycle spaces	20 spaces
<b>Unit B -</b>	<b>2,713.5 sqm (29,200 sqft)</b>
Warehouse	2,397 sqm (25,800 sqft)
Incl office undercroft	
Offices on 1st floor	158.25 sqm (1,700 sqft)
Offices on 2nd floor	158.25 sqm (1,700 sqft)
Parking incl disabled	23 spaces
Cycle spaces	14 spaces
<b>TOTAL -</b>	<b>7,805 sqm (84,000 sqft)</b>
Parking incl disabled	88 spaces
Cycle spaces	34 spaces

P2	cycle parking numbers shown on plan	08.04.2022	WR	WR/SA
P3	14 cycle spaces added, EV charge points shown	04.24.2022	WR	WR/SA
P1	issued for Planning Approval	10.12.2021	WR	WR/SA
Rev	Notes	08.09.2020	WR	Auth

**PLANNING**

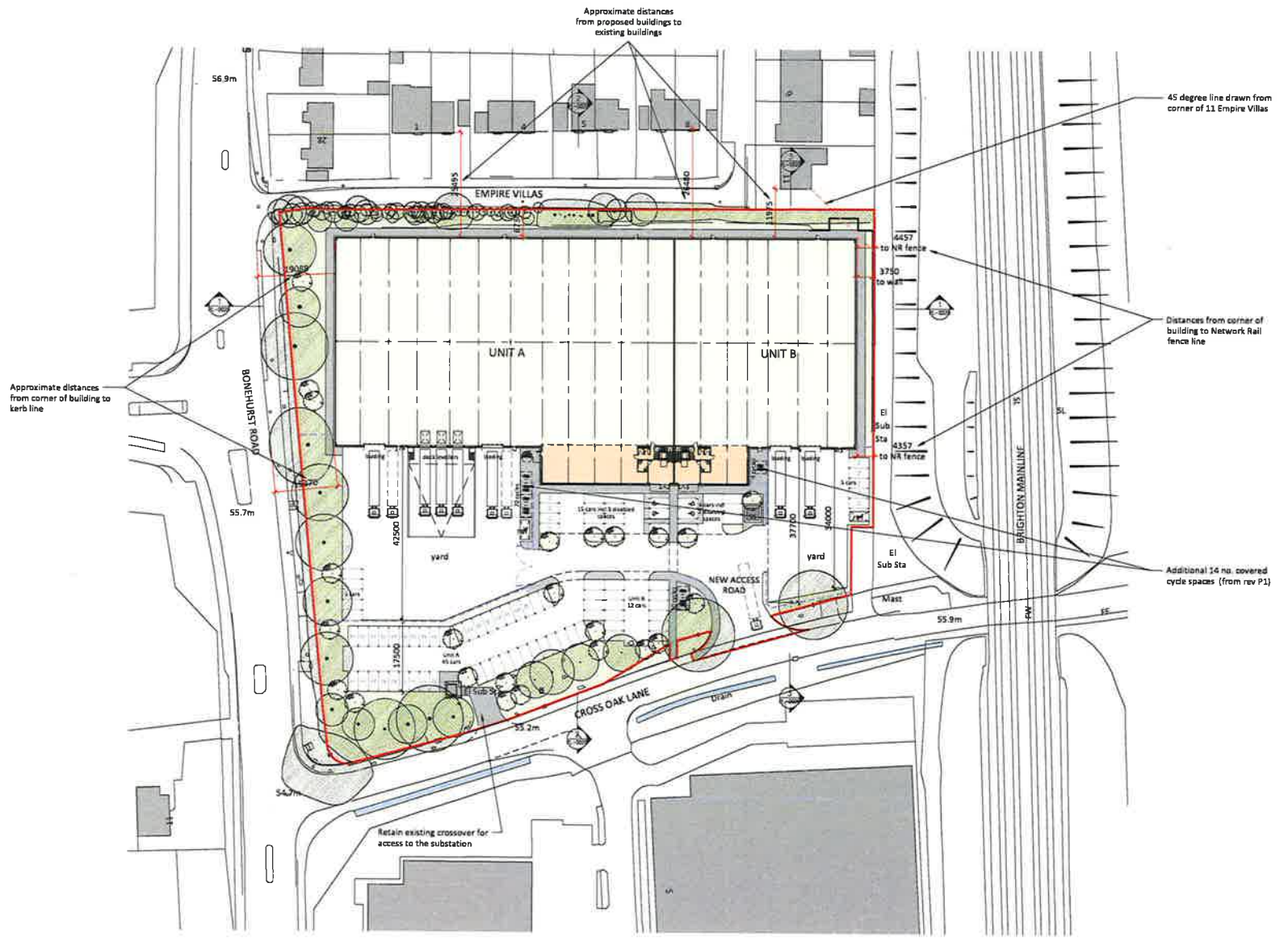


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020 7990 6817, info@war-architects.co.uk, www.wr-architects.co.uk

**Cross Oak Lane  
Redhill RH1 5EX  
Proposed Site Plan**

Drawing No.: 2105-PL-0001 Rev: P3  
scale: 1:1000 @ A3 10 December 2021

check all dimensions and areas on site  
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Approximate distances from corner of building to kerb line

Approximate distances from proposed buildings to existing buildings

45 degree line drawn from corner of 11 Empire Villas

Distances from corner of building to Network Rail fence line

Additional 14 no. covered cycle spaces (from rev P1)

Retain existing crossover for access to the substation



- KEY:**
- Planning Application Boundary  
16,351 m<sup>2</sup> / 4.04 acres / 1.635 hectare
  - Proposed fence 2.4m high
  - ss Proposed substation location
  - ref Proposed refuse enclosure
  - EV 20% EV charging bays (24no.)
  - EV 20% potential future EV charging bays (24no.)
  - Additional parking bays (allow for 20% EV charge bays [6no.] + 20% future EV charge bays [6no.])

**PARKING & CYCLES**

<b>Unit A -</b>	
Parking incl disabled	89 spaces
Cycle spaces	20 spaces
<b>Unit B -</b>	
Parking incl disabled	30 spaces
Cycle spaces	14 spaces
<b>TOTAL</b>	
Parking incl disabled	119 spaces
Cycle spaces	34 spaces

Additional 14 no. covered cycle spaces (from rev P1)

P1	cycle numbers added, with EV charge points shown	05.10.2021	W/R	W/A
P2	14 cycle spaces added, EV charge points shown	04.04.2022	W/R	W/A
01	Issued for Planning Approval	10.12.2021	W/R	W/A
Rev	Notes	08.09.2022	W/R	A/W



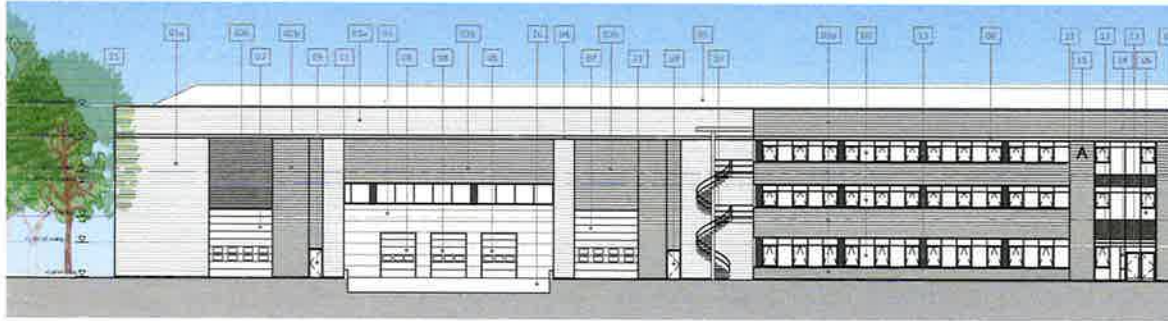
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020 7953 8317; info@warren-architects.co.uk; www.warren-architects.co.uk

**Cross Oak Lane**  
**Redhill RH1 5EX**

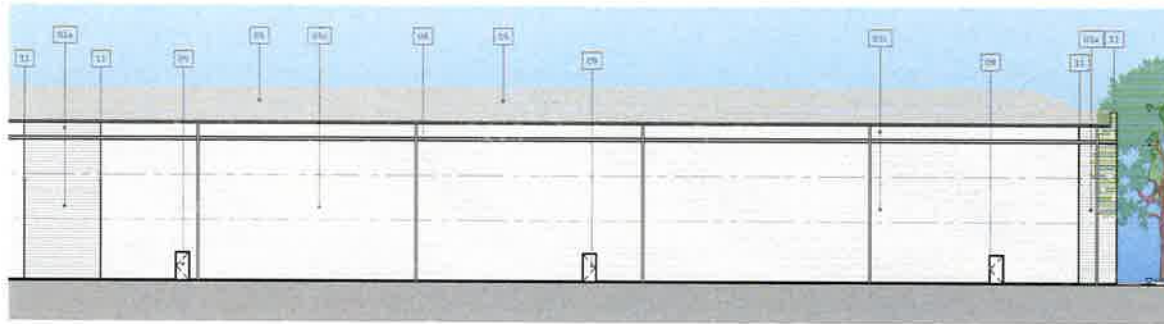
**Proposed Site Plan with Parking**  
**Layout for B2 / E (g) (iii) Use**

Drawing No.: 2105-PL-0003      Rev: P3  
scale: 1:1000 @ A3      10 December 2021

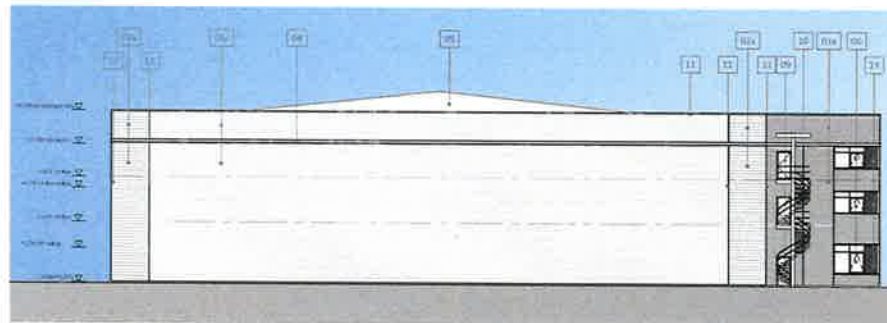
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SOUTH ELEVATION - UNIT A



NORTH ELEVATION - UNIT A



WEST ELEVATION - UNIT A

**MATERIALS KEY:**

- 01a Wall cladding: Horizontal trapezoidal profiled built up steel cladding - colour: Prima Orion (bc)
- 01b Wall cladding: Horizontal trapezoidal profiled built up steel cladding - colour: Prima Atlantis (bc)
- 01c Wall cladding: Horizontal trapezoidal profiled built up steel cladding - colour: Prima Aquana (bc)
- 01d Wall cladding: Horizontal trapezoidal profiled built up steel cladding - colour: Prima Sirius (bc)
- 02a Wall cladding: Horizontal sinusoidal profiled built up steel cladding - colour: Prima Zeux (bc)
- 02b Wall cladding: Horizontal sinusoidal profiled built up steel cladding - colour: Prima Atlanta (bc)
- 03 Wall cladding: Eurobond European composite cladding cladding - colour: Prima Atlantis (bc)
- 04 Feature channel flashings: Colour: bc
- 05 Roof cladding: Profiled built up steel cladding - colour: Gorsewing Gray
- 06 Strip windows & curtain walling: Frame Colour: Anivacra (RAL 7015)
- 07 Level loading doors: Colour: bc
- 08 Dock leveler doors: Colour: bc
- 09 Metal escape & personnel door: Colour: to match adjacent cladding
- 10 Galvanized steel spiral escape stair and roof
- 11 Metal flashings: Colour: bc
- 12 Glazed entrance canopy on ppc metal supports
- 13 Look-a-like glazing spandrel panels
- 14 Metal spandrel panel to match glazing with letter box
- 15 Unit & door numbers
- 16 Concrete dock retaining walls

PC	Final permit stamped and outdoor gutter added	24.12.2021	WR	WR/A
PI	Issued for Planning Approval	15.12.2021	WR	WR/A
Rev	Number	68/11/2021	By	Auth



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**Cross Oak Lane  
 Redhill RH1 5EX**

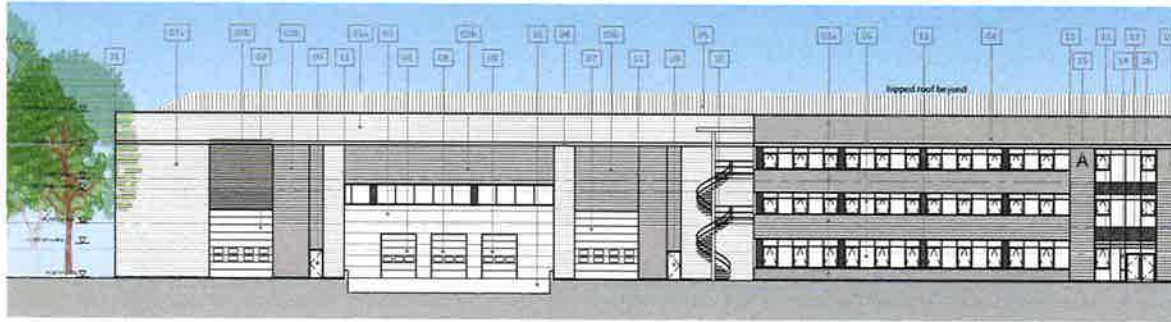
**Unit A  
 Elevations**

Drawing No.: 2105-PL-1015 Rev: P2

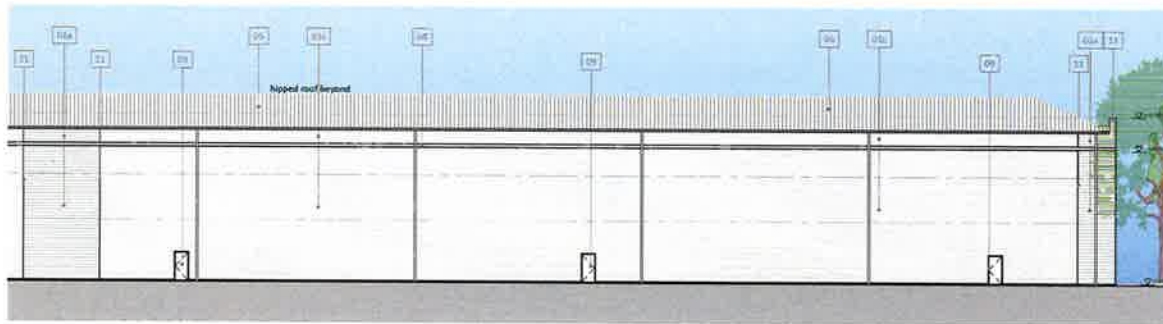
scale: 1:400 @ A3 / 1:200 @ A1 10 December 2021

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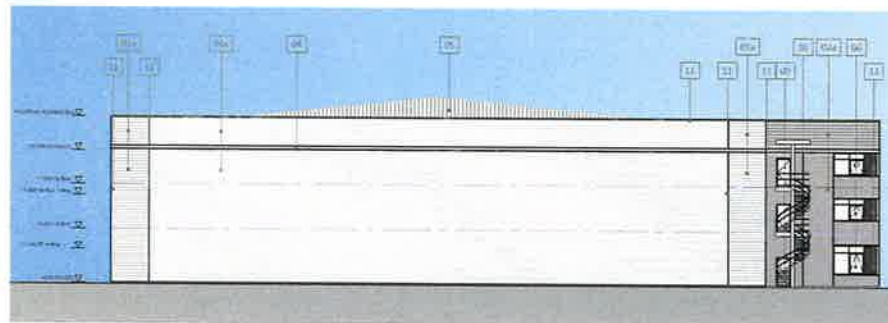




SOUTH ELEVATION - UNIT A



NORTH ELEVATION - UNIT A



WEST ELEVATION - UNIT A

**MATERIALS KEY:**

- 01a Wall cladding: Horizontal trapezoidal profiled built up steel cladding - colour Prisma Orion (Bc)
- 01b Wall cladding: Horizontal trapezoidal profiled built up steel cladding - colour Prisma Atlantis (Bc)
- 01c Wall cladding: Horizontal trapezoidal profiled built up steel cladding - colour Prisma Aquasura (Bc)
- 01d Wall cladding: Horizontal trapezoidal profiled built up steel cladding - colour Prisma Sirius (Bc)
- 02a Wall cladding: Horizontal sinusoidal profiled built up steel cladding - colour Prisma Zaus (Bc)
- 02b Wall cladding: Horizontal sinusoidal profiled built up steel cladding - colour Prisma Atlanta (Bc)
- 03 Wall cladding: Europanel Europanel composite cladding cladding - colour Prisma Atlanta (Bc)
- 04 Feature channel flashings: Colour tbc
- 05 Roof cladding: Profiled built up steel cladding - colour Goosewing Grey
- 06 Strip windows & curtain walling Prisma Colour: Anthracite (RAL 7016)
- 07 Level loading doors: Colour tbc
- 08 Dock leveller doors: Colour tbc
- 09 Metal escape & personnel door: Colour to match adjacent cladding
- 10 Galvanized steel spiral escape stair and roof
- 11 Metal flashings: Colour tbc
- 12 Glazed entrance canopy on ppc metal supports
- 13 Lock-in-like glazing spandrel panels
- 14 Metal spandrel panel to match glazing with laser box
- 15 Lint & door numbers
- 16 Concrete deck retaining walls

P1	Hipped roof structure	23.06.2022	WJR	WJR/A
P2	Building height limited by 2.5m	16.09.2022	WJR	WJR/A
P3	Rear parcel drainage and outdoor gutter added	24.04.2022	WJR	WJR/A
P4	Issued for Planning Approval	10.12.2021	WJR	WJR/A
Rev	Notes	08.11.2021	By: AUC	



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**Cross Oak Lane**  
**Redhill RH1 5EX**

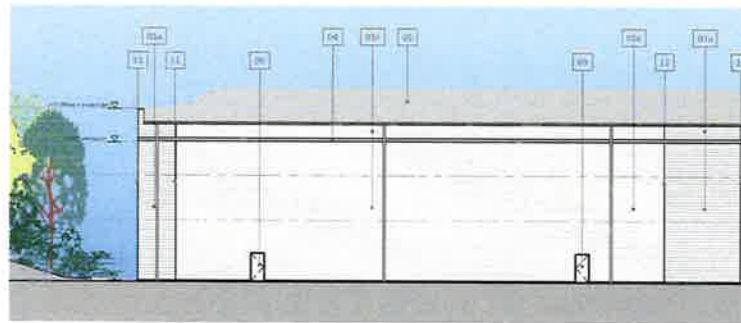
**Unit A**  
**Elevations**

Drawing No.: 2105-PL-1015 Rev: P4

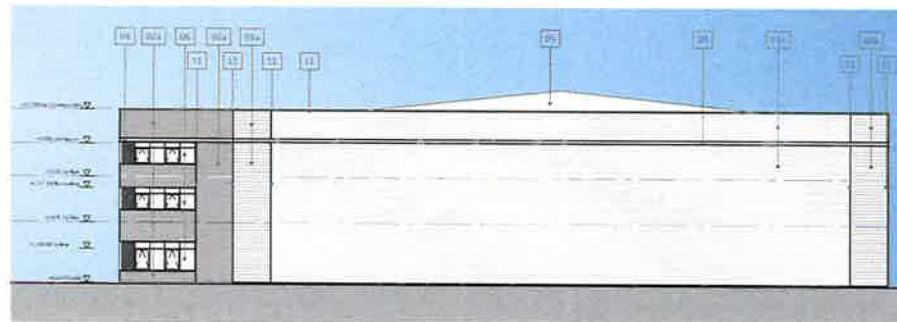
scale: 1:400 @ A3 / 1:200 @ A1 10 December 2021  
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SOUTH ELEVATION - UNIT B



NORTH ELEVATION- UNIT B



EAST ELEVATION - UNIT B

**MATERIALS KEY:**

- 01a Wall cladding: Horizontal trapezoidal profiled built up steel cladding - colour Prisma Orion (bc)
- 01b Wall cladding: Horizontal trapezoidal profiled built up steel cladding - colour Prisma Atlantis (bc)
- 01c Wall cladding: Horizontal trapezoidal profiled built up steel cladding - colour Prisma Aquarius (bc)
- 01d Wall cladding: Horizontal trapezoidal profiled built up steel cladding - colour Prisma Sinus (bc)
- 02a Wall cladding: Horizontal sinusoidal profiled built up steel cladding - colour Prisma Zeus (bc)
- 02b Wall cladding: Horizontal sinusoidal profiled built up steel cladding - colour Prisma Atlanta (bc)
- 03 Wall cladding: Eurobond European composite cladding cladding - colour Prisma Atlantis (bc)
- 04 Feature channel flashings: Colour bc
- 05 Roof cladding: Profiled built up steel cladding - colour Goosewing Grey
- 06 Strip windows & curtain walling Frame Colour: Anthracite (RAL 7015)
- 07 Level loading doors: Colour bc
- 08 Dock leveler doors: Colour bc
- 09 Metal steps & personnel door: Colour to match adjacent cladding
- 10 Galvanneal steel spiral escape stair and roof
- 11 Metal flashings: Colour bc
- 12 Glass entrance canopy on pop metal supports
- 13 Look-like glazing spandrel panels
- 14 Metal spandrel panel to match glazing with letter box
- 15 Unit & door numbers
- 16 Concrete deck retaining walls

PL	Rear canopy dropped and roll-up door gutter added	04.04.2022	WR	WRA
PL	Revised for Planning Approval	12.12.2021	WR	WRA
Rev	Notes	dd.mm.yyyy	By	Auth



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**Cross Oak Lane  
 Redhill RH1 5EX**

**Unit B  
 Elevations**

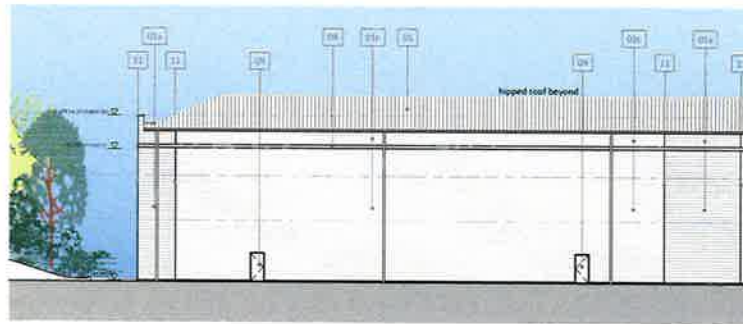
Drawing No.: 2105-PL-1016 Rev: P2

scale: 1:400 @ A3 / 1:200 @ A1 10 December 2021

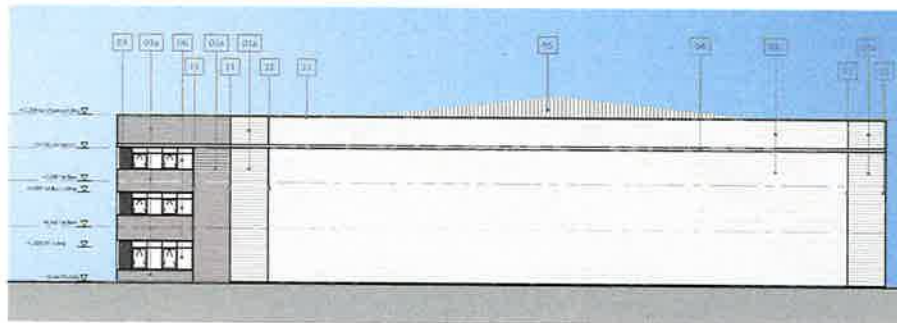
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SOUTH ELEVATION - UNIT B



NORTH ELEVATION- UNIT B



EAST ELEVATION - UNIT B

**MATERIALS KEY:**

- 01a Wall cladding - Horizontal trapezoidal profiled built up steel cladding - colour Prisma Green (bc)
- 01b Wall cladding - Horizontal trapezoidal profiled built up steel cladding - colour Prisma Atlantis (bc)
- 01c Wall cladding - Horizontal trapezoidal profiled built up steel cladding - colour Prisma Aequus (bc)
- 01d Wall cladding - Horizontal trapezoidal profiled built up steel cladding - colour Prisma Bonus (bc)
- 02a Wall cladding - Horizontal sinusoidal profiled built up steel cladding - colour Prisma Zevis (bc)
- 02b Wall cladding - Horizontal sinusoidal profiled built up steel cladding - colour Prisma Atlantis (bc)
- 03 Wall cladding - Eurobond Europanel composite cladding cladding - colour Prisma Atlantis (bc)
- 04 Feature channel flashings: Colour tbc
- 05 Roof cladding: Profiled built up steel cladding - colour: Cloosewing Grey
- 06 Strip windows & curtain walling: Frame Colour Anthracite (RAL 7016)
- 07 Lintel loading doors: Colour tbc
- 08 Dock leveler doors: Colour tbc
- 09 Metal escape & personnel door: Colour to match adjacent cladding
- 10 Galvanized steel spiral escape stair and roof
- 11 Metal flashings: Colour tbc
- 12 Glazed entrance canopy on spot metal supports
- 13 Load-borne glazing structural panels
- 14 Metal structural panel to match glazing with letter box
- 15 Unit & door numbers
- 16 Concrete dock retaining walls

P4	Roofed roof shown	23.08.2022	WR	WRA
P5	Building height lowered by 0.2m	16.08.2022	WR	WRA
P6	Rear panel dropped and added a gutter access	24.04.2022	WR	WRA
P1	Issued for Planning Approval	10.12.2021	WR	WRA
Rev	Notes	08.09.2021	By	Aut

**PLANNING**



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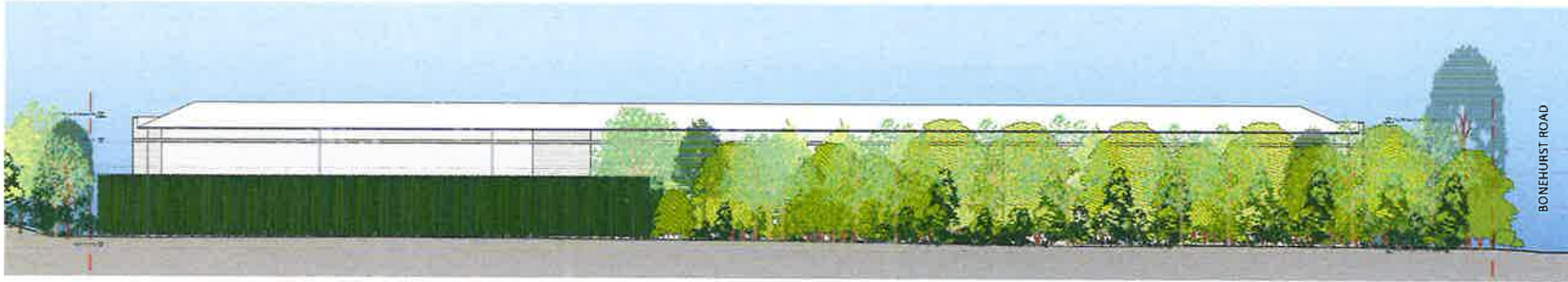
**Cross Oak Lane**  
**Redhill RH1 5EX**

**Unit B**  
**Elevations**

Drawing No.: 2105-PL-1016 Rev: P4

scale: 1:400 @ A3 / 1:200 @ A1 10 December 2021

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1. SITE BOUNDARY ELEVATION - NORTH BOUNDARY (EMPIRE VILLAS)



2. SITE BOUNDARY ELEVATION - WEST BOUNDARY (BONEHURST ROAD)



3. FRONT ELEVATION UNITS A & B

P2	Ree parapet capped and outdoor gutter added	04.04.2022	WR	WRA
P1	Issued for Planning Approval	10.12.2021	WR	WRA
Rev	Notes		WR	WRA

**PLANNING**

SCALE BAR IN mm

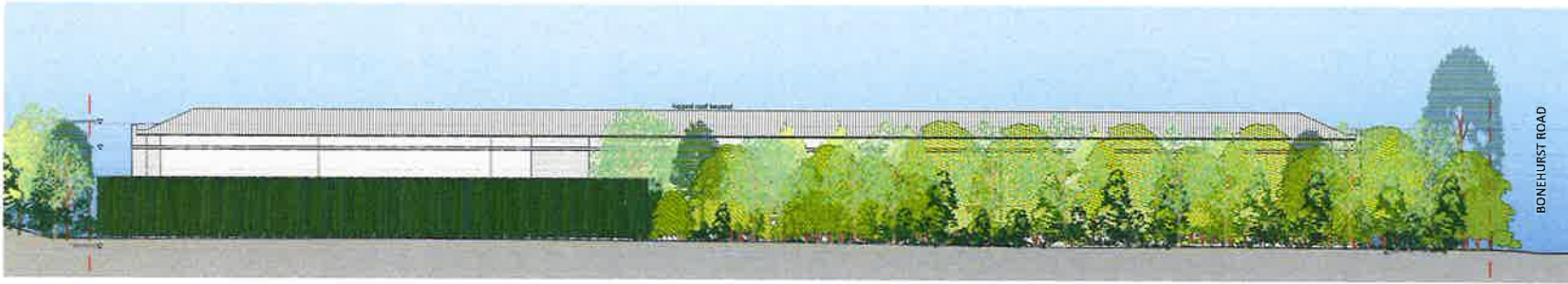
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**Cross Oak Lane**  
**Redhill RH1 5EX**

Site Boundary & Full Front Elevations

Drawing No.: 2105-PL-0021 Rev: P2  
 scale: 1:500 @ A3 / 1:250 @ A1 10 December 2021

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1. SITE BOUNDARY ELEVATION - NORTH BOUNDARY (EMPIRE VILLAS)



2. SITE BOUNDARY ELEVATION - WEST BOUNDARY (BONEHURST ROAD)



3. FRONT ELEVATION UNITS A & B

PA	Shaded roof shown	23.01.2022	WR	WR/A
P2	Building height lowered by 0.5m	16.02.2022	WR	WR/A
P2	Rear parapet dropped and soffits added gutter 8.000	04.04.2022	WR	WR/A
P4	Issue for Planning Approval	12.12.2021	WR	WR/A
Rev	Notes	08.09.2009	By	Auth



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**Cross Oak Lane**  
**Redhill RH1 5EX**

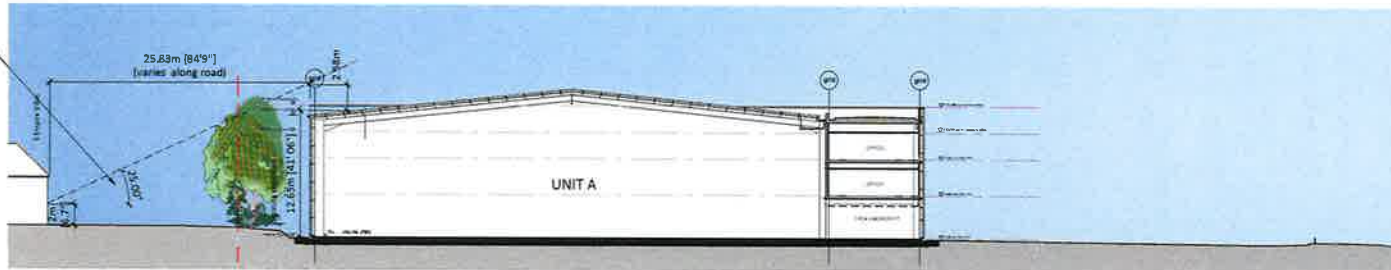
**Site Boundary & Full Front Elevations**

Drawing No.: 2105-PL-0021 Rev: P4

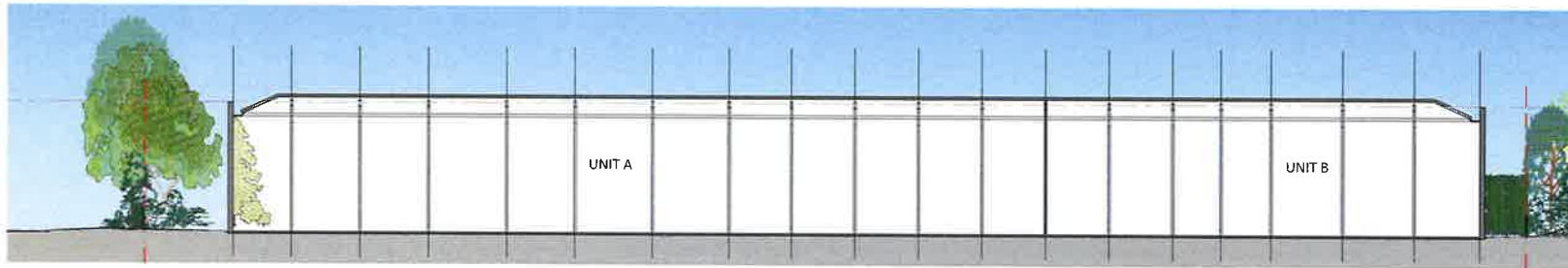
scale: 1:500 @ A3 / 1:250 @ A1 10 December 2021

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Sight line as set out in Reigate and Banstead pre-application letter - 25 degrees at 2 metres above ground level where there are windows

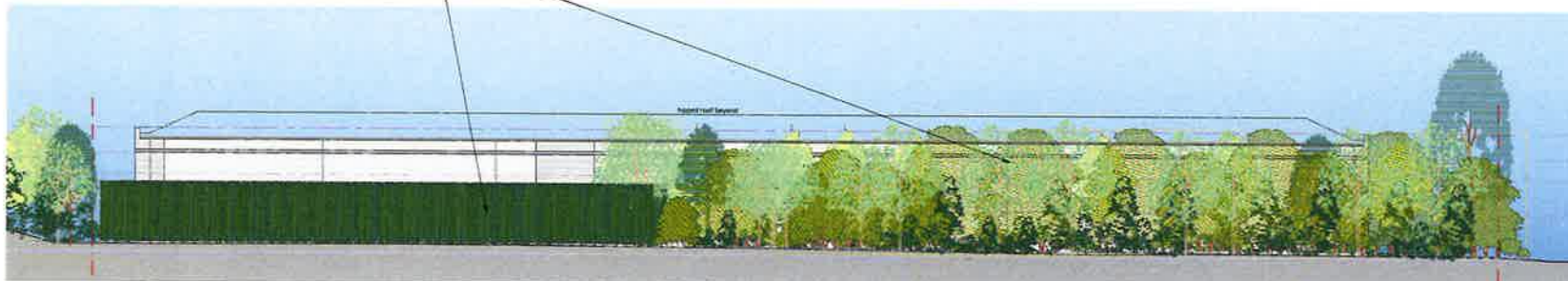


1. CROSS SECTION THROUGH UNIT A & 5 EMPIRE VILLAS



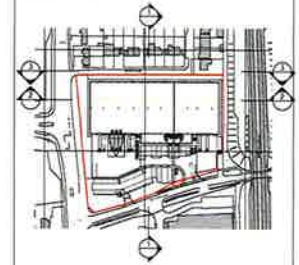
2. LONG SECTION THROUGH UNIT A & UNIT B

Note: varying height of existing landscaping based on information from the Arboricultural report



3. SITE BOUNDARY ELEVATION - NORTH BOUNDARY (EMPIRE VILLAS)

KEY PLAN:



C	Building height lowered by 0.5m	23.06.2022	WR	WR
A	Clearing changes to rear elevation to break scale	16.03.2022	WR	WR
Rev	Notes	08.0m WVV	Ry	WR

<b>PRELIMINARY</b>	
0	2500
500	750
1000	1500
2000	2500
SCALE BAR IN mm	

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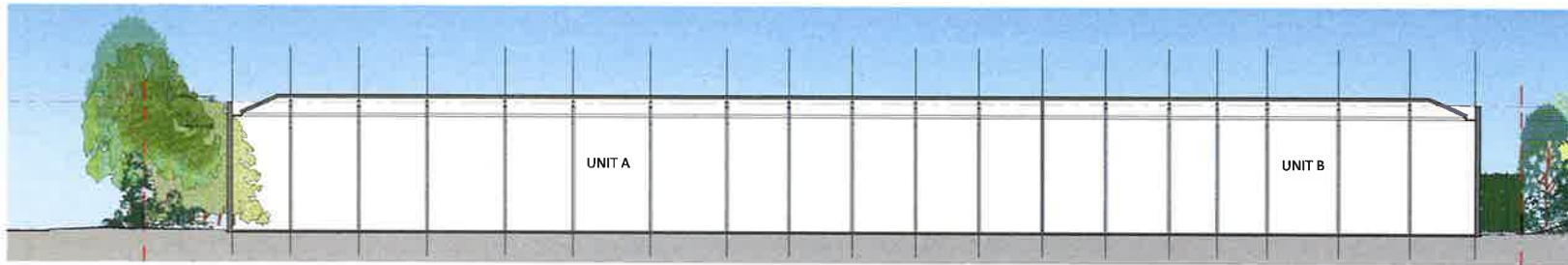
**Cross Oak Lane  
 Redhill RH1 5EX**

**Site Sections & Boundary Elev.  
 to Empire Villas (no parapet)**

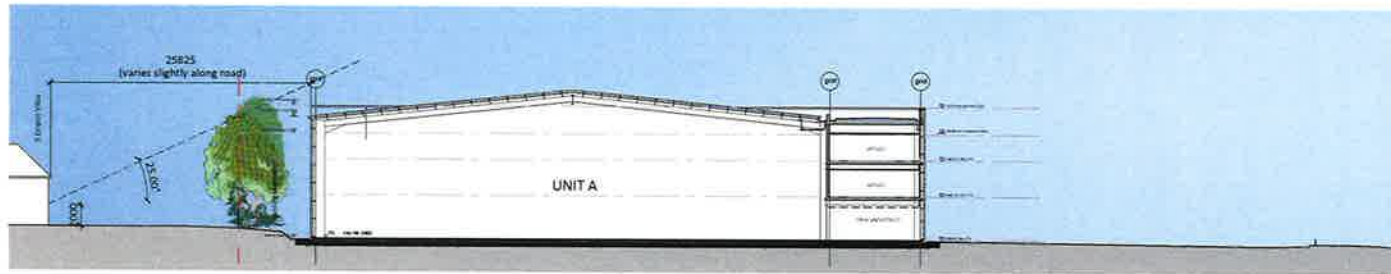
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scale: 1:500 @ A3 / 1:250 @ A1 07 March 2022

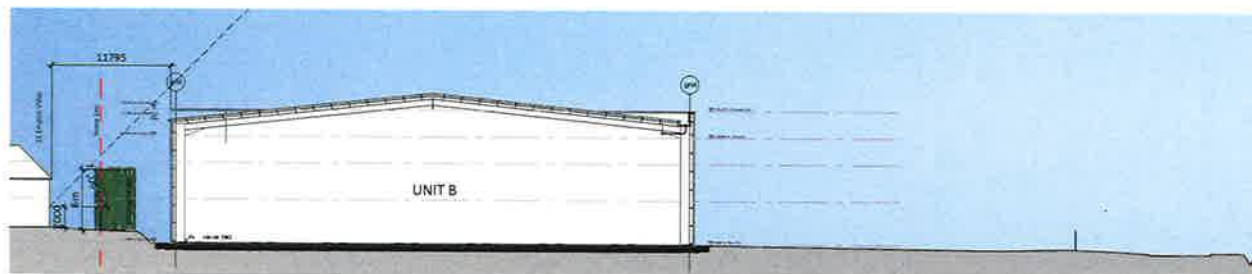
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1. LONG SECTION THROUGH UNIT A & UNIT B



2. CROSS SECTION THROUGH UNIT A & 5 EMPIRE VILLAS



3. CROSS SECTION THROUGH UNIT B & 11 EMPIRE VILLAS

P1	Building height lowered to 3.5m	16.06.2022	WR	WRA
P2	Rear window structure and outdoor gutter revised	04.04.2022	WR	WRA
P3	Revised for Planning Approval	10.12.2021	WR	WRA
Rev	Notes	dd.mm.yyyy	By	App

**PLANNING**



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**Cross Oak Lane**  
**Redhill RH1 5EX**  
**Site Sections**

Drawing No.: 2105-PL-0020 Rev: P3  
 Scale: 1:500 @ A3 / 1:250 @ A4  
 10 December 2021

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